

County of Loudoun
Department of Planning
MEMORANDUM

DATE: March 27, 2007

TO: Mike Elabarger, Project Manager
Land Use Review

FROM: Marie Genovese, AICP, Planner
Community Planning

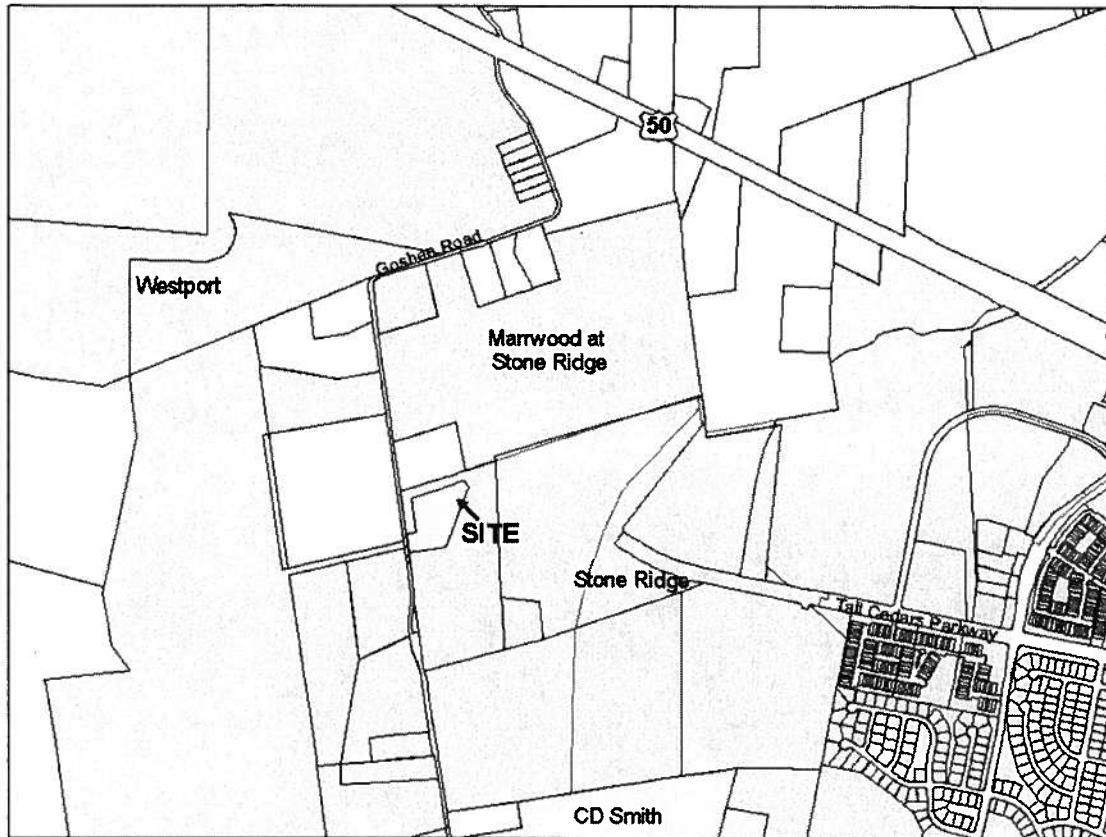
SUBJECT: SPEX 2006-0042 & CMPT 2007-0002, Dulles South Water Tanks

BACKGROUND

The Loudoun County Sanitation Authority (LCSA) is requesting a Special Exception and Commission Permit to construct three (3) elevated water storage tanks to be located east of Goshen Road and south of Route 50. The proposed site for the three water storage tanks has been proffered as part of the Stone Ridge Development (ZMAP 2002-0013 & ZCPA 2002-0004). The Marrwood at Stone Ridge residential community (SBPL 2005-0007) is located north of the subject site and an active application for residential development is located west of the subject site (ZMAP 2005-0030 & SBRD 2006-0009, Westport) (See Vicinity Map).

The purpose of the proposed elevated water storage tanks is to maintain adequate pressure in the water distribution system and to provide storage for peak hourly water demands and fire protection to the Dulles South area. Initially, one 3 million gallon tank will be constructed with the other two water storage tanks to be constructed within a ten year period. The proposed elevated water storage tanks are located on the ridge line/high ground elevation along the South Fork of Broad Run. The height of the proposed water storage tanks will be 150 feet with the potential for communication antennas to be utilized 20 feet from the top of the storage tank. The site ground elevation at the base of the tanks is 360± feet, the highest ground elevation in the area. Therefore, the elevation at the top of the antennas will be 530 feet (170 feet above ground elevation), located on a 5 acre portion of a 27.65 acre site.

The property is zoned TR-1UBF (Transitional Residential) and is governed under the provisions of the Revised 1993 Zoning Ordinance. In accordance with the Revised 1993 Zoning Ordinance, a Commission Permit (CMPT) is required when a public utility or public service facility is constructed. A Commission Permit is used to determine if the general location, character and intent of the proposal is in substantial accord with the Comprehensive Plan. A Special Exception is also required for the development of this facility in the TR-1UBF Zoning District.

VICINITY MAP

A review of County GIS records indicates forest cover, and steep slopes are located on the subject site.

COMPLIANCE WITH THE COMPREHENSIVE PLAN

The property is located within the Upper Broad Subarea of the Transition Policy Area and is governed under the policies outlined in the Revised General Plan and Revised Countywide Transportation Plan (CTP) as adopted July 23, 2001.

ANALYSIS**A. Land Use**

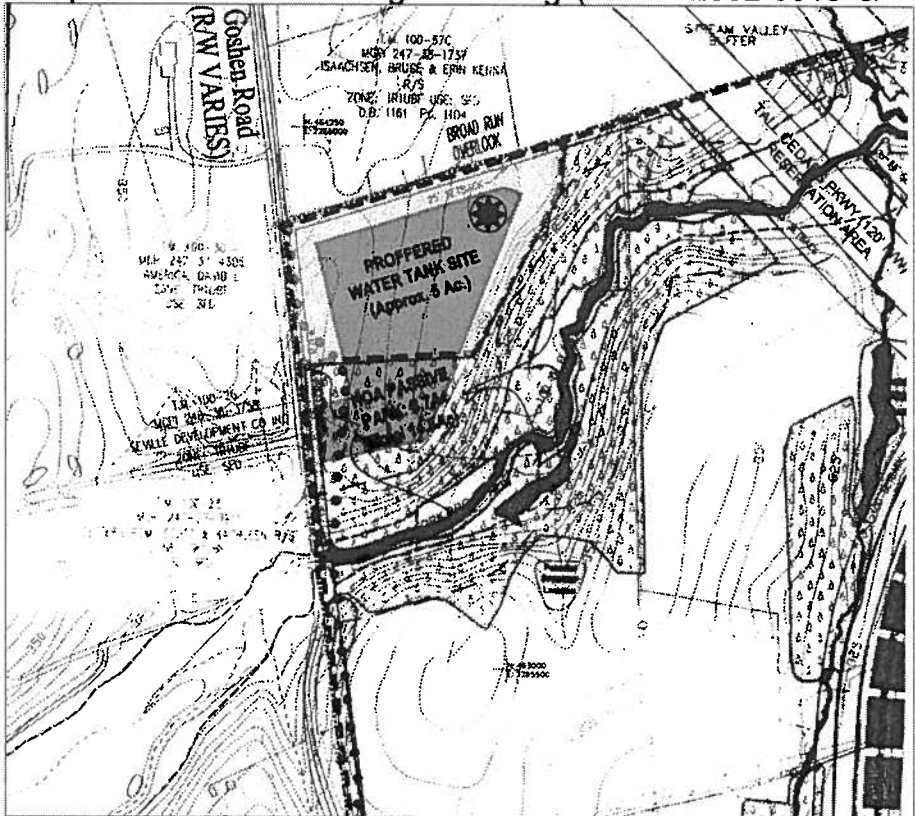
The Revised General Plan envisions the Transition Policy Area as a distinct planning area serving as a visual and spatial transition between the Suburban Policy Area to the east and the Rural Policy Area to the west (Revised General Plan, Text, p. 8-1).

Water and wastewater are the responsibilities of the LCSA, the Towns or individual property owners (Revised General Plan, Text, p. 2-15). The County encourages the LCSA to serve the Suburban and Transition Policy Areas in the most efficient and effective manner possible (Revised General Plan, Text, p. 2-16).

The proposed 5 acre site is located at the western edge of the Stone Ridge development, adjacent to Goshen Road. Development surrounding the site consists of:

- North - Marrwood at Stone Ridge (SBPL 2005-0007): 115 single-family detached units is located north of the site and a single-family detached home on a large lot;
- South and East - South Fork of Broad Run and its associated floodplain and 94 single-family detached units associated with the Stone Ridge community are located on the other side of the floodplain; and
- West - Westport (ZMAP 2005-0030 & SBRD 2006-0009) an active application for a residential community and a single-family detached home on a large lot (See Vicinity Map Above).

A 5 acre site was proffered as part of the Stone Ridge rezoning (ZMAP 2002-0013 & ZCPA 2002-0004) for an LCSA water storage/pumping facility. However, staff notes that the site shown on the proposed SPEX plat differs from the area shown on the approved Stone Ridge Concept Development Plan (CDP). The map to the right outlines the proffered site in yellow and the subject site in blue. The proposed site is located in a portion of the area proffered as part of the Stone Ridge rezoning; however, it also falls outside of the proffered site, in an area delineated as HOA Passive Park and tree conservation area.



Staff requests information pertaining to the difference in the site configuration.

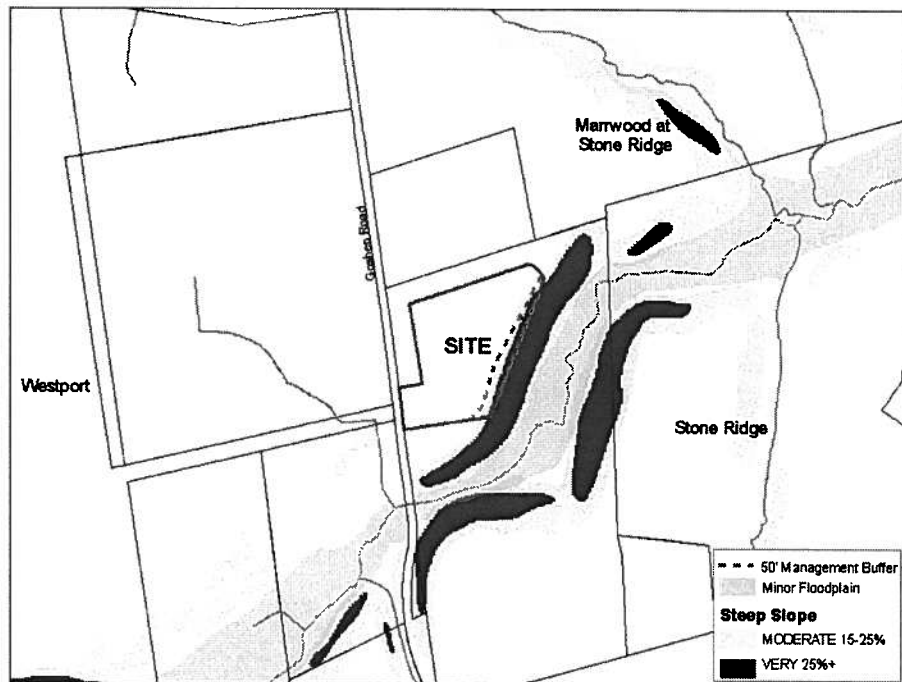
B. Existing Conditions

1. River and Stream Corridor Resources

The subject site contains river and stream corridor resources as defined by the Revised General Plan.

The South Fork of Broad Run is located south and east of the subject site. The South Fork of Broad Run; adjoining floodplains; and adjacent steep slopes (slopes 25% or greater) within 50 feet of streams and floodplains, extending no farther than 100 feet beyond the originating stream or floodplain; along with the 50-foot management buffer surrounding the adjacent steep slopes, as called for in the Revised General Plan together constitute the river and stream corridor resource (Revised General Plan, Policy 2, p. 5-6).

The Plan's intent for the 50-foot management buffer is to serve as protection for the river and stream corridor elements from upland disturbances and adjacent development (*Revised General Plan, Policy 4, p. 5-6*). However, the 50-foot management buffer can be reduced if it can be shown that a reduction does not adversely impact the stream corridor elements, and that performance standards and criteria



are met and maintained (*Revised General Plan, Policy 5, p. 5-6*). The 50-foot management buffer has been delineated on the submitted plat; however, it has not taken into account the adjacent steep slopes (slopes 25% of greater) as called for in Plan policies (See Map).

Staff recommends delineating all the elements of the river and stream corridor resource on the submitted plat and locating development outside of this area.

2. Steep Slopes

Improper use and disturbance of steep slope areas could cause erosion, building and/or road failure, downstream flooding, and other hazards (*Revised General Plan, text, p. 5-26*). Steep slopes, those areas with slopes of greater than 25 percent and moderately steep slopes, those areas with a 15 to 25 percent grade are located along the eastern portion of the subject site. Plan policies prohibit land disturbances on slopes with a grade of more than 25 percent (*Revised General Plan, Policy 1, p. 5-26*). Plan policies call for the protection of slopes with grades from 15 to 25 percent. The Plan identifies strategies to achieve this to include best management practices, reduced locational clearances for clearing and grading, and retention of natural drainageways" (*Revised General Plan, Policy 3, p. 5-26*).

Moderately steep slopes have been delineated on the submitted plat; however, these locations differ from County GIS records (See Map Above). In addition, steep slopes greater than 25 percent have not been delineated on the submitted plat.

Staff recommends delineating steep and moderately steep slopes on the submitted plat and locating development outside of these areas.

3. Forests, Trees, and Vegetation

The Plan states that the County's forests and trees improve air and water quality, offer important habitat for wildlife, are excellent buffers between communities, conserve energy, reduce wind speed and redirect airflow, reduce stormwater runoff and soil erosion, and can increase real property values (*Revised General Plan, text, p. 5-32*). A tree conservation or forest management plan will be required for all land development. The tree conservation or forest management plan will demonstrate a management strategy for designated tree save areas (*Revised General Plan, Policy 3, p. 5-32*).

The site is primarily forested. A Cover Type Inventory dated April 14, 2002 was submitted with the Stone Ridge rezoning application materials. The subject site contains portions of three cover types identified in the Cover Type Inventory (1, 2, and 3). Cover types 1 and 2 consists primarily of hardwoods while cover type 3 consists primarily of Virginia pine.

Staff recommends relocating the water storage tanks to a location within cover type 3, preserving the existing hardwoods to the maximum extent feasible.

4. Historic and Archaeological Resources

All land development applications will be required to submit an archaeological and historic resources survey (*Revised General Plan, Policy 11, p. 5-36*). The application has included a Phase 1 survey of the 800 acre parcel proposed to be developed as Stone Ridge. The survey was reviewed as part of the Stone Ridge (ZMAP 2002-0013) application and found that Area F, the area where the subject application is located did not warrant further surveys.

5. Visual Impacts

The water storage tanks are proposed at a height of 150 feet with the potential for future communication antennas increasing the height by 20 feet to 170 feet. The site ground elevation at the base of the proposed tanks is 360± feet; therefore, the total elevation at the top of the future communication antennas will be 530 feet. As discussed above, the subject site is surrounded by residential uses and therefore, visual impacts of the proposed structures on the surrounding area should be taken into consideration.

While water tanks are a preferred location for telecommunication antennas per the Strategic Land Use Plan for Telecommunication Facilities (Telecommunication Plan) the visual impact of the facility should also be mitigated so as to blend with the natural and built environment of the surrounding area (*Telecommunication Plan, Location Policy 1 & Countywide Visual Impact Policy 1, pp. 3 & 6*).

The Statement of Justification provides that the applicant conducted a tank siting study as well as a visual impact assessment of the preferred tank site. The visual impact assessment has not been included in the submission materials.

Staff requests the visual impact assessment of the proposed water storage tanks be provided for staff's review. Staff recommends the applicant mitigate the visual impacts as much as feasible by committing to a neutral color that will blend with the background, enhanced buffering, etc.

6. Lighting

The Plan states that the "beauty of the County's night sky is threatened by excessive and improper lighting" (*Revised General Plan, text, p. 5-42*). The Lighting and Night Sky policies of the *Revised General Plan* promote the "use of lighting for convenience and safety without nuisance associated with light pollution" (*Revised General Plan, Policy 1, p. 5-42*). Note 10 on the submitted plat states that site lighting will be provided at the time of site plan in accordance with the Zoning Ordinance and FSM requirements. Furthermore, the Statement of Justification provides that a light will be located at the top of the tanks to warn aircraft, in accordance with FAA requirements. The Statement of Justification provides that this light will not pose a glare hazard to the communities or roadways.

Staff recommends a condition of approval stating that lighting shall be shielded to direct light downward and will be fully cut-off to ensure that off-site glare will be at a minimum. Staff further recommends a condition of approval requiring the light at the top of the tanks to be designed so as not to pose a glare hazard to the communities or roadways.

RECOMMENDATION

The proposed water storage tanks are located in an area that differs from the proffered water storage tank site approved with the Stone Ridge rezoning (ZMAP 2002-0013 & ZCPA 2002-0004). Staff needs clarification regarding the difference in the site configuration and the impacts to the overall design as approved with the Stone Ridge rezoning to full assess the application.

Staff recommends the applicant:

1. Delineate all the elements of the river and stream corridor resource, locating development outside of this area;
2. Delineate steep and moderately steep slopes, locating development outside of these areas;
3. Relocate the water storage tanks to a location within cover type 3, preserving cover types 1 and 2 to the maximum extent feasible;
4. Provide a copy of the visual impact assessment for staff's review; and
5. Mitigate visual impacts by committing to neutral colors that will blend with the background and enhanced buffering.

Staff also recommends the following conditions of approval:

1. Lighting shall be shielded to direct light downward and will be fully cut-off; and
2. Lighting at the top of the tanks shall be designed so as not to pose a glare hazard to the communities or roadways.

Staff would be happy to meet with the applicant to discuss these issues.

cc: Julie Pastor, AICP, Director, Planning
Cindy Keegan, AICP, Program Manager, Community Planning

County of Loudoun
Department of Planning
MEMORANDUM

DATE: June 27, 2007

TO: Mike Elabarger, Project Manager
Land Use Review

FROM: Marie Genovese, AICP, Planner
Community Planning

**SUBJECT: SPEX 2006-0042 & CMPT 2007-0002, Dulles South Water Tanks –
Second Referral**

BACKGROUND

The Loudoun County Sanitation Authority (LCSA) is requesting a Special Exception and Commission Permit to construct two (2) elevated water storage tanks to be located east of Goshen Road and south of Route 50. The proposed site for the two water storage tanks has been proffered as part of the Stone Ridge Development (ZMAP 2002-0013 & ZCPA 2002-0004). The Marrwood at Stone Ridge residential community (SBPL 2005-0007) is located north of the subject site and an active application for residential development is located west of the subject site (ZMAP 2005-0030 & SBRD 2006-0009, Westport) (See Vicinity Map).

The purpose of the proposed elevated water storage tanks is to maintain adequate pressure in the water distribution system and to provide storage for peak hourly water demands and fire protection to the Dulles South area. Initially, one 3 million gallon tank will be constructed with the other water storage tank to be constructed within a ten year period. The proposed elevated water storage tanks are located on the ridge line/high ground elevation along the South Fork of Broad Run. The height of the proposed water storage tanks will be 170 feet with the potential for communication antennas to be utilized in the future, not to exceed 170 feet. The site ground elevation at the base of the tanks is 360± feet, the highest ground elevation in the area. Therefore, the elevation at the top of the tanks will be 530 feet (170 feet above ground elevation), located on a 5 acre portion of a 27.65 acre site.

The property is zoned TR-1UBF (Transitional Residential) and is governed under the provisions of the Revised 1993 Zoning Ordinance. In accordance with the Revised 1993 Zoning Ordinance, a Commission Permit (CMPT) is required when a public utility or public service facility is constructed. A Commission Permit is used to determine if the general location, character and intent of the proposal is in substantial accord with the

Comprehensive Plan. A Special Exception is also required for the development of this facility in the TR-1UBF Zoning District.

VICINITY MAP



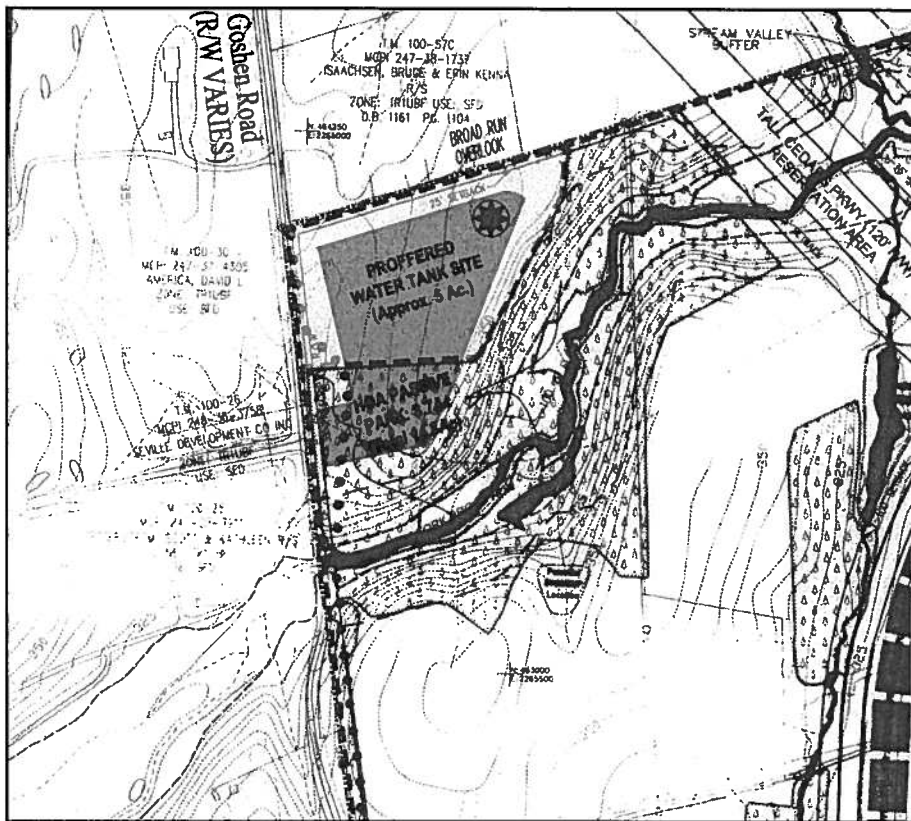
The applicant has responded to Community Planning's first referral dated March 27, 2007. One outstanding issue remains regarding land use, which should be addressed to ensure the intent of the Revised General Plan is being met with the proposed project. The issue is outlined below. In addition, staff recommends three conditions of approval and the designation of Tree Conservation Areas (See discussion below).

ANALYSIS

A. Land Use

The proposed 5 acre site, located at the western edge of the Stone Ridge development adjacent to Goshen Road was proffered as part of the Stone Ridge rezoning (ZMAP 2002-0013 & ZCPA 2002-0004) for an LCSA water storage/pumping facility. However, staff notes that the site shown on the proposed SPEX plat differs from the area shown on the approved Stone Ridge Concept Development Plan (CDP). The map to the right outlines the proffered site in yellow and the subject site in blue. The proposed site is located in a portion of the area proffered as part of the Stone Ridge rezoning; however, it also falls outside of the proffered site, in an area delineated as HOA Passive Park and tree conservation area.

Staff requests information pertaining to the difference in the site configuration.



B. Existing Conditions

1. Forests, Trees, and Vegetation

The Plan states that the County's forests and trees improve air and water quality, offer important habitat for wildlife, are excellent buffers between communities, conserve energy, reduce wind speed and redirect airflow, reduce stormwater runoff and soil erosion, and can increase real property values (*Revised General Plan, text, p. 5-32*). A tree conservation or forest management plan will be required for all land development. The tree conservation or forest management plan will demonstrate a management strategy for designated tree save areas (*Revised General Plan, Policy 3, p. 5-32*).

The site is primarily forested. A Cover Type Inventory dated April 14, 2002 was submitted with the Stone Ridge rezoning application materials. The subject site contains portions of three cover types identified in the Cover Type Inventory (1, 2, and 3). Cover Types 1 and 2 consists primarily of hardwoods while Cover Type 3 consists primarily of Virginia pine. The applicant has relocated the tanks westward to minimize impacts to Cover Type 2 with most of the disturbance occurring within Cover Type 3. The SPEX plat delineates a 50-foot undisturbed tree buffer around the tank site. Staff notes there are additional areas of existing vegetation that will not be impacted by the proposed development of the site that could be preserved as well.

Staff commends the applicant for relocating the tanks to a location that provides fewer disturbances to Cover Type 2. Staff recommends designating areas within Cover Types 1 and 2 not impacted by development as Tree Conservation Areas and providing a commitment to the preservation of these areas.

2. Visual Impacts

The water storage tanks are proposed at a height of 170 feet. The site ground elevation at the base of the proposed tanks is 360± feet; therefore, the total elevation at the top of the tanks will be 530 feet. As discussed above, the subject site is surrounded by residential uses and therefore, visual impacts of the proposed structures on the surrounding area should be taken into consideration. A visual impact assessment prepared by Hazen and Sawyer for the subject site was provided for staff's review. The response to staff's comments provides that the tanks will be painted neutral in color; however, this has not been included as a condition of approval.

Staff recommends a condition of approval calling for the tanks to be painted a neutral color that will blend with the background.

3. Lighting

The Plan states that the "beauty of the County's night sky is threatened by excessive and improper lighting" (*Revised General Plan, text, p. 5-42*). The Lighting and Night Sky policies of the *Revised General Plan* promote the "use of lighting for convenience and safety without nuisance associated with light pollution (*Revised General Plan, Policy 1, p. 5-42*). Note 10 on the Cover Sheet states that site lighting will be in accordance with the Zoning Ordinance and FSM requirements. Furthermore, Note 18 on the Cover Sheet states a light will be provided at the top of the tank for aircraft warning. The lighting will be in accordance with the Zoning Ordinance and FAA requirements and will not pose a glare hazard to communities or roadways.

Staff recommends a condition of approval stating that lighting shall be shielded to direct light downward and will be fully cut-off to ensure that off-site glare will be at a minimum.

RECOMMENDATION

Community Planning staff recommends approval of the SPEX and CMPT application with conditions provided the parcel configuration issue is resolved.

Staff recommends the applicant preserve existing vegetation to the maximum extent feasible by designating undisturbed areas as Tree Conservation Areas.

Staff also recommends the following conditions of approval:

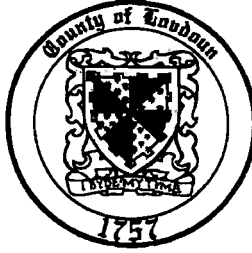
1. Preservation of Tree Conservation Areas;
2. Tanks shall be painted neutral in color; and
3. Lighting shall be shielded to direct light downward and will be fully cut-off.

Staff would be happy to meet with the applicant to discuss these issues.

cc: Julie Pastor, AICP, Director, Planning

Cindy Keegan, AICP, Program Manager, Community Planning

A-10



ZONING ADMINISTRATION REFERRAL

DATE: March 22, 2007

TO: Mike Elabarger, Project Manager, Planning

THROUGH: Mark Stultz, Deputy Zoning Administrator

FROM: Claire Gron, Planner, Zoning Administration

SUBJECT: SPEX 2006-0042 / CMPT 2007-0002
Dulles South Water Tanks

LCTM/MCPI: 100////////54/ 247-28-4151

I. APPLICATION SUMMARY

Zoning Administration staff has reviewed the above-referenced special exception application for conformance with the Revised 1993 Loudoun County Zoning Ordinance ("the Ordinance"). The following items were reviewed as part of the SPEX application:

- A. Information Packet, including Statement of Justification, dated February 21, 2007
- B. Special Exception Plat, dated January 26, 2006, revised through July 2006
- C. Building Drawing Elevation and Flood Plan, dated October 2006

This application is a request by Loudoun County Sanitation Authority (LCSA) ("the Applicant") for approval of a Special Exception and Commission Permit to construct three water storage tanks. The subject parcel is currently 27.65 acres in size, and is zoned Transitional Residential-1 (TR-1UBF) under the Revised 1993 Loudoun County Zoning Ordinance. Portions of the property also lie within the Floodplain Overlay District (FOD) (Major Floodplain). In addition, portions of the property lie within areas of Moderately Steep Slopes (15-25%) and Very Steep Slopes (>25%). A water storage tank is permissible by special exception in the TR-1 district pursuant to Table 2-1702, and is further subject to §5-621, Public Utility standards.

It appears as if the subject parcel will be subdivided, and an approximately five (5) acre parcel will be dedicated to LCSA. For the purposes of this referral, Staff reviewed this application assuming subdivision of the subject parcel. Staff highly recommends that the Applicant receive confirmation from the Department of Building & Development,

Planning Division that the subject parcel can be subdivided as proposed prior to proceeding with this application.

II. CONFORMANCE WITH THE REVISED 1993 LOUDOUN COUNTY ZONING ORDINANCE.

1. **Section 6-1310(F).** The Applicant indicates that a 50 foot buffer will be provided around the perimeter of the site to mitigate the effects of the water tanks on other uses in the immediate area. However, the 50 foot buffer, as it appears on the plat, is not around the perimeter of the site. It is also not located on what will be the future five (5) acre parcel. Clarify this statement, the location of the 50 foot buffer, the future boundaries of the five (5) acre parcel, especially along Goshen Road (see comment below), and the limits of the special exception.
2. **Section 1-103(D)(2).** The height limitations of the Zoning Ordinance shall not apply to water tanks "not exceeding in height the distance therefrom to the nearest lot line." Clarify the height of the proposed water tanks, and demonstrate that the water tanks are set back from lot lines, at a minimum, a distance equal to their height. Be advised that if telecommunications antennas will be mounted on the water tanks at a later date, the water tanks must be sufficiently set back (see comment below). There are inconsistencies throughout the application with respect to the proposed height of the water tanks. The special exception plat and page 1 of the Statement of Justification indicate that the water tanks are 170 feet in height, however, page 3 of the Statement of Justification indicates that the water tanks are 150 feet in height. Furthermore, the Building Drawing Elevation and Flood Plan, dated October 2006, indicates that the height of the water storage tank is 172.5 feet.
3. **Table 2-1702.** Revise the proposed use on the plat to indicate that the use is Water Storage Tank, not "Public Utility, Water Storage Facility."
4. **Section 5-621.** Note on the plat that Water Storage Tanks are subject to §5-621, Public Utility standards. Revise the minimum parcel area on Sheet 3 to be ½ acre, not 1 acre, pursuant to §5-621(A).
5. **Sections 5-621(B) and 5-1400.** Revise General Note #9 on Sheet 1 and page 5 of the Statement of Justification to clarify that Type IV buffer yards are required pursuant to §5-621(B), not §5-1400. However, the Applicant is correct in that the Type IV buffer yard must be provided in accordance with §5-1414(B)(4). Be advised that §5-600 requirements can be modified by Minor Special Exception only. Label the buffer yards that are illustrated on the special exception plat.
6. **Table 5-701(C)(3)(a).** Revise the Zoning Tabulations to distinguish between yard requirements and buffer yard requirements, as they are two separate and distinct requirements. For example, the Zoning Tabulations state that there is a required "front yard buffer width" of 10 feet. However, in the TR-1 district, the required front yard is 10 feet, and a Type IV front yard buffer is 20 feet.
7. **Section 5-1100.** Revise the parking tabulation. Staff recommends that parking spaces be provided to accommodate the maximum number of vehicles that might be present at one time.
8. **Section 5-1508.** County records indicate that both Moderately (15-25%) and Very (>25%) Steep Slopes are located on the property, and it appears as if one of the water

tanks is located in an area of Moderately Steep Slopes. Illustrate both the Moderately and Very Steep Slopes on the plat. Be advised that a locational clearance is required pursuant to §5-1508(F).

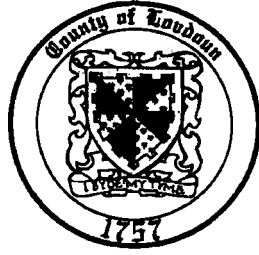
9. **Section 6-1101.** The Applicant notes, on page 3 of the Statement of Justification, that the communications antennas may be mounted on the water tanks in the future. While Telecommunications Antennas are a permitted use in the TR-1 district per Table 2-1702, a Commission Permit (CMPT) is required pursuant to §6-1101. Staff recommends that this CMPT application be revised to include the telecommunications antennas, so as to avoid the necessity of an additional CMPT at a later date.
10. **Article VIII, "Open Space."** Based on the CDP (ZMAP-2002-0013), it appears as if this property constitutes required Open Space for Land Bay 1. Lot coverage in Open Space shall not exceed 1% of the lot. Revise Zoning Tabulations #7 and #11 accordingly.

III. SPECIAL EXCEPTION PLAT COMMENTS

1. The Building Drawing Elevation and Floor Plan, dated October 2006, indicates that "actual tank dimensions may vary." Staff recommends that the Applicant specify the maximum square footage for water tanks on the property. Be advised that the maximum square footage approved with this special exception may not be exceeded.
2. Revise General Note #1 on Sheet 1, and the Zoning Tabulations on Sheet 3 to specify that the property is zoned TR-1UBF.
3. Revise General Note #6 on Sheet 1 to specify that portions of the property lie within areas of major floodplain.
4. Revise General Note #16. County records indicate that both Moderately (15-25%) and Very (>25%) steep slopes are present on the subject property.
5. Remove Zoning Tabulations #8, as there is no FAR requirement.
6. Remove Zoning Tabulations #14, as there is no landscape open space requirement.
7. Clearly illustrate the right-of-way for Goshen Road on the plat. The proposed future five (5) acre parcel boundary appears to extend not to the right-of-way, but to the centerline of Goshen Road. Please clarify.

IV. CONDITIONS OF APPROVAL

1. As the materials submitted with this application are based on the assumption that a subdivision application will be approved, Staff recommends a condition to that effect.



ZONING ADMINISTRATION REFERRAL

DATE: July 24, 2007

TO: Mike Elabarger, Project Manager, Planning

THROUGH: Mark Stultz, Deputy Zoning Administrator

FROM: Claire Gron, Planner, Zoning Administration

SUBJECT: SPEX-2006-0042/CMPT-2007-0002
Dulles South Water Tanks

LCTM/MCPI: 100////////54/ 247-28-4151

I. APPLICATION SUMMARY

Zoning Administration staff has reviewed the above-referenced special exception application for conformance with the Revised 1993 Loudoun County Zoning Ordinance ("the Ordinance"). The following items were reviewed as part of the SPEX application:

- A. Information Packet, including Statement of Justification, dated February 21, 2007
- B. Special Exception Plat, dated January 26, 2006, revised through July 2006
- C. Building Drawing Elevation and Flood Plan, dated October 2006

This application is a request by Loudoun County Sanitation Authority (LCSA) ("the Applicant") for approval of a Special Exception and Commission Permit to construct three water storage tanks. The subject parcel is currently 27.65 acres in size, and is zoned Transitional Residential-1 (TR-1UBF) under the Revised 1993 Loudoun County Zoning Ordinance. Portions of the property also lie within the Floodplain Overlay District (FOD) (Major Floodplain). In addition, portions of the property lie within areas of Moderately Steep Slopes (15-25%) and Very Steep Slopes (>25%). A water storage tank is permissible by special exception in the TR-1 district pursuant to Table 2-1702, and is further subject to §5-621, Public Utility standards.

It appears as if the subject parcel will be subdivided, and an approximately five (5.72) acre parcel will be dedicated to LCSA. For the purposes of this referral, Staff reviewed this application assuming subdivision of the subject parcel. Staff highly recommends that the Applicant receive confirmation from the Department of Building & Development,

Planning Division that the subject parcel can be subdivided as proposed prior to proceeding with this application.

II. CONFORMANCE WITH THE REVISED 1993 LOUDOUN COUNTY ZONING ORDINANCE.

1. **Section 1-103(D)(2).** The height limitations of the Zoning Ordinance shall not apply to water tanks "not exceeding in height the distance therefrom to the nearest lot line." The 170 ft. tanks appear to be set back between 167 ft. and 170 ft. from the property lines. Please ensure that the tanks are set back at least 170 ft. from the property lines.
2. **Section 5-621(A).** Public utilities shall be located on lots of ½ acre or more. Remove the words "exclusive of major floodplain" from the zoning tabulations.
3. **Section 5-701(C)(2)(d).** A minimum of 50% of the site shall be maintained as open space in the TR-1UBF district. Individual lots are not required to be maintained as 50% open space. Revise the zoning tabulations accordingly.
4. **Section 5-1100.** Loading spaces for "governmental" uses shall be provided as determined by the Zoning Administrator, not at the rate stated. Revise the parking tabulation on Sheet 3 accordingly. Be advised that no loading space is required.
5. **Article VIII, "Open Space" and Section 6-1511(A)(1).** The Concept Development Plan (ZMAP-2002-0013) designates the future lot as open space. Therefore, the entirety of the future lot must be placed under an open space easement, and lot coverage in open space shall not exceed 1%. If the future lot is removed from open space, the 1% lot coverage requirement will cease to apply. However, the removal of the future lot from open space will require a Zoning Concept Plan Amendment. Staff notes that 50% of the TR-1 district (49.92 acres) must be maintained as open space, and that the removal of the proposed 5.72 acre lot from the open space will not reduce open space below the required level.

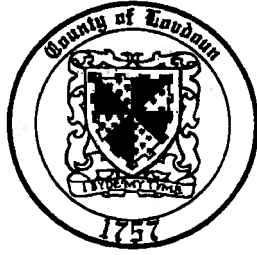
III. SPECIAL EXCEPTION PLAT COMMENTS

1. Remove the illustrated "50' setback" from the plans.
2. Revise note #9 on Sheet 2 to reference §5-621(B).

IV. CONDITIONS OF APPROVAL

1. As the materials submitted with this application are based on the assumption that a subdivision application will be approved, Staff recommends a condition to that effect.

A-15



ZONING ADMINISTRATION REFERRAL

DATE: October 4, 2007

TO: Mike Elabarger, Project Manager, Planning

THROUGH: Mark Stultz, Deputy Zoning Administrator

FROM: Claire Gron, Planner, Zoning Administration

SUBJECT: SPEX-2006-0042/CMPT-2007-0002/ZCPA-2007-0007
Dulles South Water Tanks (3rd Referral)

LCTM/MCPI: 100////////54/ 247-28-4151

I. APPLICATION SUMMARY

Zoning Administration staff has reviewed the above-referenced special exception, commission permit, and zoning concept plan amendment application for conformance with the Revised 1993 Loudoun County Zoning Ordinance ("the Ordinance"). The following items were reviewed as part of the SPEX/CMPT/ZCPA application:

- A. Information Packet, including Statement of Justification, dated September 27, 2007
- B. Revised Concept Development Plan (Sheet 4) and Open Space Exhibit (Sheet 13) dated May 24, 2002, revised through September 10, 2007.

This application is a request by Loudoun County Sanitation Authority (LCSA) ("the Applicant") for approval of a Special Exception and Commission Permit to construct two water storage tanks. The subject parcel is currently 27.65 acres in size, and is zoned Transitional Residential-1 (TR-1UBF) under the Revised 1993 Loudoun County Zoning Ordinance. Portions of the property also lie within the Floodplain Overlay District (FOD) (Major Floodplain). In addition, portions of the property lie within areas of Moderately Steep Slopes (15-25%) and Very Steep Slopes (>25%). A water storage tank is permissible by special exception in the TR-1 district pursuant to Table 2-1702, and is further subject to §5-621, Public Utility standards.

With this third referral, the Applicant is requesting a Zoning Concept Plan Amendment in order to remove the future water storage tank property from the Open Space, as

designated on the Concept Development Plan approved with Zoning Map Amendment (ZMAP) 2002-0013.

It appears as if the subject parcel will be subdivided, and an approximately 5.7 acre parcel will be dedicated to LCSA. For the purposes of this referral, Staff reviewed this application assuming subdivision of the subject parcel. Staff highly recommends that the Applicant receive confirmation from the Department of Building & Development, Planning Division that the subject parcel can be subdivided as proposed prior to proceeding with this application.

II. CONCEPT DEVELOPMENT PLAN COMMENTS

1. The Applicant indicates in the Statement of Justification that the future property will be 5.7 acres in size. As such, the CDP (Sheet 4) should state that the water tank site is 5.7 acres in size, and the acreage of the adjacent HOA Passive Park should be adjusted accordingly. Ensure that the acreage of the HOA Passive Park is revised on both sides of Tall Cedars Parkway.
2. In addition to Sheets 4 and 13, please also revise Sheets 10 and 12. Ensure that the future water tank site is not shaded as Open Space on Sheet 10, and revise the acreages of the future parcel (5.7 acres) and the HOA Passive Park on both Sheets 10 and 12, for consistency with Sheet 4.

III. CONDITIONS OF APPROVAL

1. As the materials submitted with this application are based on the assumption that a subdivision application will be approved, Staff recommends a condition to that effect.

A-16.2

VDOT

March 7, 2007

Mr. Mike Elabarger
County of Loudoun
Department of Planning
1 Harrison Street, S.E.
P.O. Box 7000
Leesburg, Virginia 20177-7000

Re: Dulles South Water Tanks
(1st Submission)
Loudoun County Application Numbers SPEX 2006-0042 & CMPT 2007-0002

Dear Mr. Elabarger:

We have reviewed the above noted application as requested in your February 21, 2007 transmittal. We offer the following comments:

1. Please label state route number of Goshen Road.
2. Applicant should dedicate right of way a minimum of 25' from roadway centerline along state road site frontage.
3. A VDOT permit will be required for the entrance. Permit may include but is not limited to verification of adequate sight distance, specification of an appropriate entrance type and adequately addressing drainage issues. We recommend a note to this effect be placed on the plans.

If you have any questions, please call me at (703) 383-2061.

Sincerely,

John Bassett, P.E.
Transportation Engineer

cc: Mr. Sam Allaire

A-17



Loudoun County Health Department

P.O. Box 7000
Leesburg VA 20177-7000



Environmental Health
Phone: 703 / 777-0234
Fax: 703 / 771-5023

Community Health
Phone: 703 / 777-0236
Fax: 703 / 771-5393

March 5, 2007

MEMORANDUM TO: Mike Elabarger, Project Manager MSC # 62
Planning Department, Building & Development

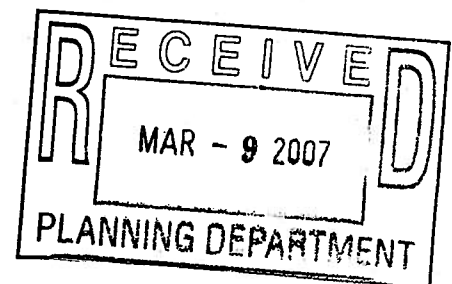
FROM: John P. Dayton MSC #68
Sr. Env. Health Specialist
Division Of Environmental Health

SUBJECT: Dulles South Water Tanks SPEX 2006-042
LCTM 100/54, PIN 247284151

This Department reviewed the plans, prepared by Urban Engineering dated **January 26, 2007**, and have no comments to the proposal.

If further information or clarification on the above project is required, please contact John Dayton at 737-8848.

JPD/JEL/jpd



County of Loudoun
Office of Transportation Services
MEMORANDUM

DATE: March 30, 2007
TO: Mike Elabarger, Project Manager, Department of Planning
FROM: Shaheer Assad, Senior Transportation Engineer/Planner
THROUGH: Arthur J. Smith, Senior Coordinator
SUBJECT: CMPT 2007-0002, SPEX 2006-0042 Dulles South Water Tanks
First Referral

Background

The applicant Loudoun County Sanitation Authority is seeking a Commission Permit and Special Exception to allow construction of three elevated water storage tank on a 5 acre site. The storage tank will have a height of approximately 170 feet. The subject property is zoned for TR-IUBF (Transition Residential). The site is located south of Route 50 (John Mosby Road), north of Braddock Road and east of Goshen Road. The access to the site will be from a Goshen Road.

Comments

The applicant should provide all the right-of-way required for the Goshen Road improvements.

The proposed use will generate few additional trips and not have an impact on the road system. VDOT may require a commercial site entrance.

Conclusion

OTS has no objections to favorable consideration of this application.

From: Maria Taylor
To: Elabarger, Mike
Date: 4/4/2007 3:07 PM
Subject: SPEX 2006-0042 & CMPT 2007-0002 Dulles South Water Tanks

Mike, Thank you for the opportunity to review the above captioned application. We have no comments. thanks!

Maria

Maria Figueroa Taylor
Planner
Loudoun County Fire-Rescue and Emergency Management
803 Sycolin Road, Suite 104
Leesburg, VA 20175
703-777-0333
703-771-5359 (fax)

Teamwork, Integrity, Professionalism and Service

A-20

DEPARTMENT OF BUILDING AND DEVELOPMENT

COUNTY OF LOUDOUN

MEMORANDUM

DATE: April 4, 2007

TO: Mike Elabarger, Project Manager, Department of Planning

FROM: Todd Taylor, Environmental Engineer

THROUGH: William Marsh, Environmental Review Team Leader

SUBJECT: SPEX-2006-0042 & CMPT-2007-0002 Dulles South Water Tanks

The Environmental Review Team (ERT) has reviewed the subject application during the March 12, 2007, ERT Meeting. Our comments pertaining to the current application are as follows:

1. Moderately steep slopes are depicted on sheets 2 and 3. However, the area includes slopes that exceed 25 percent. To demonstrate compliance with the Steep Slope Standards in Section 5-1508 of the Revised 1993 Loudoun County Zoning Ordinance (Revised 1993 LCZO), depict moderately steep slopes (15 to 25 percent) and very steep slopes (greater than 25 percent) on sheets 2 and 3, based on the 2-foot topography (i.e. topographical analysis). Please update Note 16 on Sheet 1 accordingly, including a statement indicating that the steep slope designations are based on 2-foot topography. [Revised 1993 LCZO Sections 5-1508(D) and 6-407].
2. The River and Stream Corridor 50-foot management buffer is incorrectly depicted on sheets 2 and 3. The buffer must surround adjacent steep slopes (greater than 25 percent), starting within 50 feet of floodplains, extending no further than 100 feet beyond the floodplain. Please adjust to buffer accordingly. [Revised General Plan (RGP, River and Stream Corridor Resources Policies, Page 5-6]
3. Once moderately steep slopes, very steep slopes, and the River and Stream Corridor 50-foot management buffer are depicted correctly, staff strongly recommends shifting the access road and three water tanks to the northwest to avoid land disturbing activities on steep slopes and to allow for the preservation of the existing hardwood tree cover.
4. Type 4 buffer yards are depicted around the perimeter of the subject property. Where perimeter buffer yards correspond with forest cover types 1 and 2, as identified by the Stone Ridge Rezoning Cover Type Inventory Report, prepared by Zimar & Associates Inc., dated April 14, 2002, staff recommends that existing vegetation be utilized toward fulfilling buffer yard requirement, consistent with Revised 1993 LCZO Section 5-1403(B).
5. Please describe further the stormwater management/best management practice approach, accounting for water quality requirements and for conveying concentrated flow to the channel of the floodplain.

Due to the scope of the comments provided, staff requests an opportunity to review the subsequent submission of this application. Please contact me if you need any additional information.

A-21

DEPARTMENT OF BUILDING AND DEVELOPMENT

COUNTY OF LOUDOUN

MEMORANDUM

DATE: July 6, 2007

TO: Mike Elabarger, Project Manager, Department of Planning

FROM: Todd Taylor, Environmental Engineer

THROUGH: William Marsh, Environmental Review Team Leader

**SUBJECT: SPEX-2006-0042 & CMPT-2007-0002 Dulles South Water Tanks
(2nd Submission)**

The Environmental Review Team (ERT) has reviewed the revised application and offers the following comment.

1. The limits of jurisdictional wetlands have been removed from plan sheets 2 and 3 with this submission. Please add wetlands back to the plan sheets. Please confirm that waters of the U.S. and wetlands are consistent with the jurisdictional determinations referenced in Note 14 on Sheet 1.

The ERT has completed its review of this application. Please contact me if you need any additional information.

A-22



**COUNTY OF LOUDOUN
PARKS, RECREATION AND COMMUNITY SERVICES
REFERRAL MEMORANDUM**

To: Mike Elabarger, Project Manager, Planning Department (MSC #62)
From: Brian G. Fuller, Park Planner, Facilities Planning and Development (MSC #78)
Through: Mark A. Novak, Chief Park Planner, Facilities Planning and Development
CC: Diane Ryburn, Director
Steve Torpy, Assistant Director
Su Webb, Park Board, Chairman
Jim Bonfils, Park Board, Dulles District

Date: April 25, 2007

Subject: SPEX 2006-0042 and CMPT 2007-0002 **Dulles South Water Tanks**
FIRST REFERRAL

Election District: Dulles **Sub Planning Area:** Upper Broad Run

MCPI #: 247-28-4151

BACKGROUND:

The Property is located on the south side of Route 50 and along the east side of Goshen Road (Route 616) in the Dulles District. The Property will consist of approximately 5 acres within the Transition Policy Area, and is currently zoned TR1UBF (Single Family Residential). The Applicant (Loudoun County Sanitation Authority or LCSA) proposes to develop the Property for the construction of 3 elevated water storage tanks, to be located on the ridgeline along the South Fork Broad Run. The tanks will be 170 feet tall, and the site is a proffer requirement by the Stone Ridge Community Development (ZMAP 2002-0013 and ZCPA 2002-0004). Once LCSA has received all land use and engineering approvals, construction will commence on the first tower.

POLICY:

The site is governed under the land use policies in the Revised General Plan. A portion of the subject site is located within the Upper Broad Run Subarea of the Transition Policy Area. The Planned Land Use Map adopted with the Revised General Plan designates the Upper Broad Run Subarea of the Transition Policy Area is planned for residential uses in a cluster pattern.

Under the Revised General Plan, "the Transition Policy Area seeks to create unique residential communities using conservation design techniques that fully implement Green Infrastructure policies and preserve substantial amounts of open space. The open space and Green Infrastructure elements provided in developments will link developments together and promote a transition in land development intensity between the Suburban and Rural Policy Areas. The primary development options offered in the Transition Policy Area include Villages and Residential Clusters."

PROJECT ANALYSIS:

The Applicant states the proposed special exception will allow for the construction of 3 required water tanks over a 10-year period to serve the needs of the Dulles South Community. The approval of large planned communities, as well as the completion of the LCSA Water Distribution System Master Plan in 2002, demonstrates the need for such a facility. The purpose of the elevated water tanks is to maintain adequate pressure in the water distribution system and to provide for peak hourly water demands and fire protection to the Dulles South area.

COMMENTS:

With respect to Parks, Recreation and Community Services (PRCS) we offer the following comments and recommendations:

1. PRCS is developing a system of interconnected linear parks along the County's Stream Valley Corridors. This is consistent with the Greenways and Trail Policies of the Revised General Plan, Policy 1 (p. 5-39): *"Greenways include areas along rivers and streams that are often ideal for trails"*. Policy 4 (p. 5-40): *"The County will seek through purchase, proffer, density transfer, donation or open-space easement, the preservation of greenways and the development of trails"*. Parks, Recreation and Community Services Policies, Policy 3 (p. 3-15): *"The County encourages the contiguous development of regional linear parks, trail, and natural open space corridors to provide pedestrian links and preserve environmental and aesthetic resources"*.

Staff is currently negotiating with the Applicant of the Inova Dulles South Hospital property (SPEX 2006-0012) north of Route 50 for proffered land dedication and public easement opportunities along the South Fork Broad Run. In addition, Staff is currently negotiating with the Applicant of Westport (ZMAP 2005-0030) for a stream valley park along the South Fork Broad Run.

Per approved ZMAP 2002-0013, Staff has an agreement with Stone Ridge Community Development, LLC for dedication of park land along South Fork Broad Run adjacent to this subject application. Therefore, PRCS is using this opportunity to notify the Applicant (LCSA) that there may potentially be pedestrian foot traffic along the linear park adjacent to the subject property line. PRCS requests that the Applicant clarify whether or not they will be providing fencing along the perimeter of their site.

2. PRCS requests the Applicant to identify the honeycomb-shaped shading round the perimeter of the site on the Special Exception Plat.
3. PRCS requests a copy of the tank siting study and visual impact assessment.

CONCLUSION:

PRCS has identified above, outstanding issues that require additional information to complete the review of this application.

If you have any questions or concerns regarding these comments, please do not hesitate to contact me personally via phone at 571-258-3251, or via e-mail at brian.fuller@loudoun.gov. You may also contact Mark Novak via phone at 703-737-8992, or via e-mail at mark.novak@loudoun.gov. I look forward to attending any meetings or work sessions to offer PRCS support, or to be notified of any further information regarding this project.

A-24



**COUNTY OF LOUDOUN
PARKS, RECREATION AND COMMUNITY SERVICES
REFERRAL MEMORANDUM**

To: Mike Elabarger, Project Manager, Planning Department **(MSC #62)**
From: Brian G. Fuller, Park Planner, Facilities Planning and Development **(MSC #78)**
Through: Mark A. Novak, Chief Park Planner,
Facilities Planning and Development
CC: Diane Ryburn, Director
Steve Torpy, Assistant Director
Su Webb, Park Board, Chairman
Jim Bonfils, Park Board, Dulles District

Date: August 30, 2007

Subject: SPEX 2006-0042 and CMPT 2007-0002,
Dulles South Water Tanks (2nd Submission)

Election District: Dulles **Sub Planning Area:** Upper Broad Run

MCPI #: 247-28-4151

BACKGROUND:

The Property is located on the south side of Route 50 and along the east side of Goshen Road (Route 616) in the Dulles District. The Property will consist of approximately 5 acres within the Transition Policy Area, and is currently zoned TR1UBF (Single Family Residential). The Applicant states the proposed special exception will allow for the construction of 3 required water tanks over a 10-year period to serve the needs of the Dulles South Community. The tanks will be 170 feet tall, and the site is a proffer requirement by the Stone Ridge Community Development (ZMAP 2002-0013 and ZCPA 2002-0004). The approval of large planned communities, as well as the completion of the LCSA Water Distribution System Master Plan in 2002, demonstrates the need for such a facility. The purpose of the elevated water tanks is to maintain adequate pressure in the water distribution system and to provide for peak hourly water demands and fire protection to the Dulles South area. Once LCSA has received all land use and engineering approvals, construction will commence on the first tower.

COMMENTS:

With respect to Parks, Recreation and Community Services (PRCS) we offer the following comments and recommendations:

Comment 1: PRCS is developing a system of interconnected linear parks along the County's Stream Valley Corridors. This is consistent with the Greenways and Trail Policies of the Revised General Plan, Policy 1 (p. 5-39): "Greenways include areas along rivers and streams that are often ideal for trails". Policy 4 (p. 5-40): "The County will seek through purchase, proffer, density transfer, donation or open-space easement, the preservation of greenways and the development of

A-25

trails". Parks, Recreation and Community Services Policies, Policy 3 (p. 3-15): "The County encourages the contiguous development of regional linear parks, trail, and natural open space corridors to provide pedestrian links and preserve environmental and aesthetic resources".

Staff is currently negotiating with the Applicant of the Inova Dulles South Hospital property (SPEX 2006-0012) north of Route 50 for proffered land dedication and public easement opportunities along the South Fork Broad Run. In addition, Staff is currently negotiating with the Applicant of Westport (ZMAP 2005-0030) for a stream valley park along the South Fork Broad Run.

Per approved ZMAP 2002-0013, Staff has an agreement with Stone Ridge Community Development, LLC for dedication of park land along South Fork Broad Run adjacent to this subject application. Therefore, PRCS is using this opportunity to notify the Applicant (LCSA) that there may potentially be pedestrian foot traffic along the linear park adjacent to the subject property line. PRCS requests that the Applicant clarify whether or not they will be providing fencing along the perimeter of their site.

Applicant Response: *No written applicant response.*

Issue Status: **Unresolved.**

Comment 2: PRCS requests the Applicant to identify the honeycomb-shaped shading round the perimeter of the site on the Special Exception Plat.

Applicant Response: *No written applicant response.*

Issue Status: **Unresolved.**

Comment 3: PRCS requests a copy of the tank siting study and visual impact assessment.

Applicant Response: *No written applicant response.*

Issue Status: **Unresolved.**

CONCLUSION:

PRCS still identifies the above, outstanding issues that require additional information to complete the review of this application.

If you have any questions or concerns regarding these comments, please do not hesitate to contact me personally via phone at 571-258-3251, or via e-mail at brian.fuller@loudoun.gov. You may also contact Mark Novak via phone at 703-737-8992, or via e-mail at mark.novak@loudoun.gov. I look forward to attending any meetings or work sessions to offer PRCS support, or to be notified of any further information regarding this project.

A-26



**COUNTY OF LOUDOUN
PARKS, RECREATION AND COMMUNITY SERVICES
REFERRAL MEMORANDUM**

To: Mike Elabarger, Project Manager, Planning Department **(MSC #62)**
From: Brian G. Fuller, Park Planner, Facilities Planning and Development
(MSC #78)
Through: Mark A. Novak, Chief Park Planner,
Facilities Planning and Development
CC: Diane Ryburn, Director
Steve Torpy, Assistant Director
Su Webb, Park Board, Chairman
Jim Bonfils, Park Board, Dulles District
Date: September 28, 2007

Subject: SPEX 2006-0042 and CMPT 2007-0002,
Dulles South Water Tanks (3rd Submission)

Election District: Dulles **Sub Planning Area:** Upper Broad Run

MCPI #: 247-28-4151

BACKGROUND:

The Property is located on the south side of Route 50 and along the east side of Goshen Road (Route 616) in the Dulles District. The Property will consist of approximately 5 acres within the Transition Policy Area, and is currently zoned TR1UBF (Single Family Residential). The Applicant states the proposed special exception will allow for the construction of 3 required water tanks over a 10-year period to serve the needs of the Dulles South Community. The tanks will be 170 feet tall, and the site is a proffer requirement by the Stone Ridge Community Development (ZMAP 2002-0013 and ZCPA 2002-0004). The approval of large planned communities, as well as the completion of the LCSA Water Distribution System Master Plan in 2002, demonstrates the need for such a facility. The purpose of the elevated water tanks is to maintain adequate pressure in the water distribution system and to provide for peak hourly water demands and fire protection to the Dulles South area. Once LCSA has received all land use and engineering approvals, construction will commence on the first tower.

COMMENTS:

With respect to Parks, Recreation and Community Services (PRCS) we offer the following comments and recommendations:

A-26.1

Comment 1: PRCS is developing a system of interconnected linear parks along the County's Stream Valley Corridors. This is consistent with the Greenways and Trail Policies of the Revised General Plan, Policy 1 (p. 5-39): "Greenways include areas along rivers and streams that are often ideal for trails". Policy 4 (p. 5-40): "The County will seek through purchase, proffer, density transfer, donation or open-space easement, the preservation of greenways and the development of trails". Parks, Recreation and Community Services Policies, Policy 3 (p. 3-15): "The County encourages the contiguous development of regional linear parks, trail, and natural open space corridors to provide pedestrian links and preserve environmental and aesthetic resources".

Staff is currently negotiating with the Applicant of the Inova Dulles South Hospital property (SPEX 2006-0012) north of Route 50 for proffered land dedication and public easement opportunities along the South Fork Broad Run. In addition, Staff is currently negotiating with the Applicant of Westport (ZMAP 2005-0030) for a stream valley park along the South Fork Broad Run.

Per approved ZMAP 2002-0013, Staff has an agreement with Stone Ridge Community Development, LLC for dedication of park land along South Fork Broad Run adjacent to this subject application. Therefore, PRCS is using this opportunity to notify the Applicant (LCSA) that there may potentially be pedestrian foot traffic along the linear park adjacent to the subject property line. PRCS requests that the Applicant clarify whether or not they will be providing fencing along the perimeter of their site.

Applicant Response: No written applicant response.

Issue Status (2nd Submission): Unresolved.

Applicant Response: The facility will be fenced. The fencing may not be at the perimeter of the parcel, but may just encompass the proposed facilities on the site. Attached is a detail of the proposed fencing.

Issue Status: Resolved. PRCS supports the proposed Type IV Buffer around the site security fencing.

Comment 2: PRCS requests the Applicant to identify the honeycomb-shaped shading round the perimeter of the site on the Special Exception Plat.

Applicant Response: No written applicant response.

Issue Status (2nd Submission): Unresolved.

Applicant Response: *The honeycomb hatch pattern is simply the area of the proposed buffer around the site.*

Issue Status: **Resolved.** PRCS supports the proposed Type IV Buffer around the site security fencing.

Comment 3: PRCS requests a copy of the tank siting study and visual impact assessment.

Applicant Response: *No written applicant response.*

Issue Status (2nd Submission): **Unresolved.**

Applicant Response: *Attached is a pdf version of the siting study to be forwarded to PRCS. If they need anything further on this please let me know. A hardcopy of the siting study is being sent to you to forward on to PRCS.*

Issue Status: **Resolved.** Staff appreciates the submission of the siting study, and PRCS supports any and every effort made by the Applicant to utilize any natural screening and existing vegetation on this parcel. Screening and blending is essential to mitigate the impact of the water towers on the natural and historic viewsheds of Loudoun County.

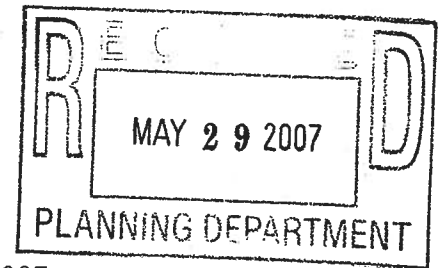
CONCLUSION:

PRCS defers all other site specific environmental and planning comments to the Environmental Review Team (ERT) and Community Planning, and offers no further objection to the approval of this application.

If you have any questions or concerns regarding these comments, please do not hesitate to contact me personally via phone at 571-258-3251, or via e-mail at brian.fuller@loudoun.gov. You may also contact Mark Novak via phone at 703-737-8992, or via e-mail at mark.novak@loudoun.gov. I look forward to attending any meetings or work sessions to offer PRCS support, or to be notified of any further information regarding this project.

A-26.3

METROPOLITAN WASHINGTON AIRPORTS AUTHORITY



May 24, 2007

Mr. Mike Elabarger, Project Manager
Loudoun County Department of Planning
1 Harrison Street, S.E., 3rd Floor
P.O. Box 7000
Leesburg, VA 20177

Re: SPEX 2006-0042 & CMPT 2007-0002 Dulles South Water Tanks

Dear Mr. Elabarger:

This letter is in reference to your request that the Metropolitan Washington Airports Authority (Authority) review an application to build three elevated water tanks for the Loudoun County Sanitation Authority (LCSA) in Stone Ridge. The tanks are estimated to be 173 feet high with top elevations of approximately 527.5 feet MSL (above mean sea level). It is our understanding from the submittal materials that these tanks will be located on property on the east side of Goshen Road approximately 1,000 feet south of Tall Cedars Parkway, and will be approximately four miles from the western ends of the existing and future crosswind runway at Washington Dulles International Airport (Dulles).

Based on the information that we have received, the height of the proposed tanks appear to be well below the surfaces that establish obstructions and hazards to air navigation as defined in the Federal Aviation Administration's (FAA) Federal Aviation Regulations (FAR). The Authority expects no problems with the proposed projects and takes no exceptions.

In fact, our quick assessment has the tank development right at or below the levels that even necessitate FAA review. We believe the LCSA, the developer and the design engineering firm have the precise data for the tank farm to make the calculations that will determine their need to file an FAA Form 7460-1 "Notice of Proposed Construction or Alteration" which can be found on-line. The critical point on Dulles property to use in the establishing a need to file is the west end of Runway 12-30, which is 311 feet MSL, 38° 56' 37.5" latitude, 77° 29' 25.6" longitude. If a filing is necessary, the FAA will be able to officially determine the affect the proposed facility might have on the safe operation of

Mr. Mike Elabarger, Project Manager
Loudoun County Department of Planning
Page 2

Dulles; however we are very comfortable that nothing will be revealed that should alter the project in substance.

If you have any questions regarding the enclosed material, or need additional information, please feel free to call me at (703) 417-8161

Sincerely,

A handwritten signature in black ink, appearing to read "Bill Lebegem". The signature is fluid and cursive, with the first name "Bill" and last name "Lebegem" clearly distinguishable.

William C. Lebegem, P.E.
Manager, Planning Department

WCL:sdp

Copies:
Mohammed Shammet, LCSA
Jeffrey Gilliard, Urban Engineers and Associates

A-2.8

County of Loudoun
Department of Planning
MEMORANDUM

DATE: April 5, 2007

TO: Mike Elabarger, Project Manager, Land Use Review

FROM: Heidi Siebentritt, Historic Preservation Planner, Community Information and Outreach

SUBJECT: SPEX 2006-0042 & CMPT 2007-0002 Dulles South Water Tanks

Staff has reviewed the Phase 1 archaeological report prepared by Thunderbird Archeology in September 2000. The project area was surveyed as part of an 800 acre Phase 1 survey of the Stone Ridge development. The project area related to the current application is designated as "Area F" in the Thunderbird report. Eleven archaeological sites were identified during the 2000 survey. One site, 44LD724 was located within "Area F" of the survey area. However, 44LD724 was identified south of the water tank project area, on an adjacent landform.

The project area related to the current application consists of a broad ridge flat above the south fork of the Broad Run. A transect of shovel test pits was excavated along the landform and no archaeological resources were identified. No further work is warranted and there are no outstanding issues related to cultural and historic resources within the project area.